

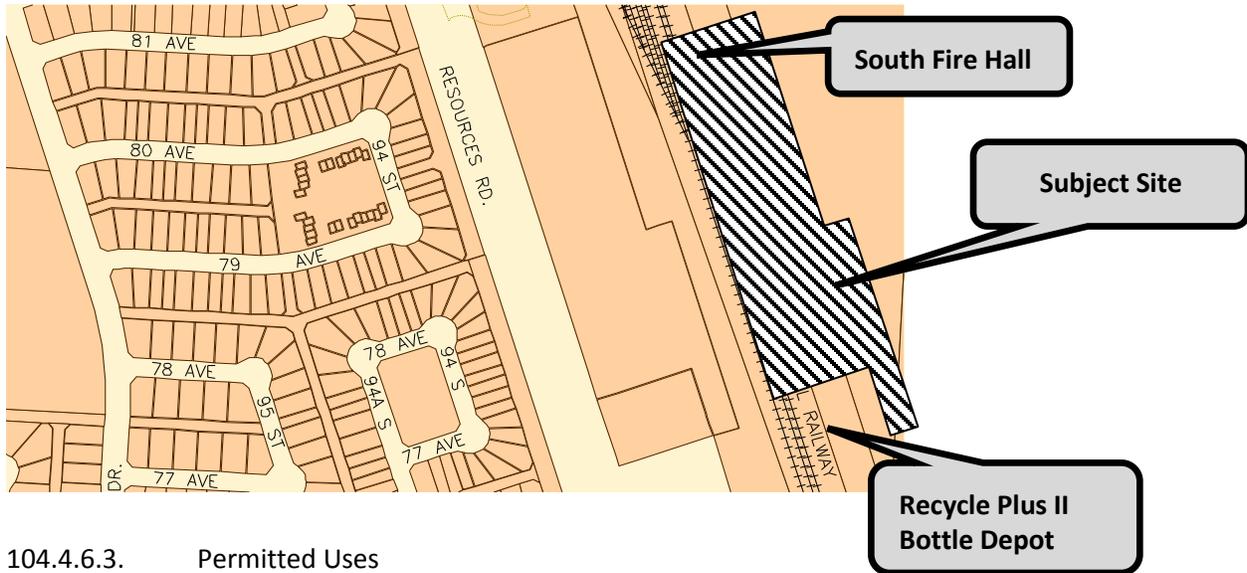
104.4.6 - DC-6(a) Site Specific Direct Control District

104.4.6.1. General Purpose

To provide for the development of an outdoor storage facility on a site specific basis.

104.4.6.2. Area of Application

This district shall apply to Lot 3A, Block 1, Plan 062-3810.



104.4.6.3. Permitted Uses

- Commercial Storage Facility
- Outdoor Storage Yard [subject to 104.4.6.4 (f)]

104.4.6.4. Development Criteria

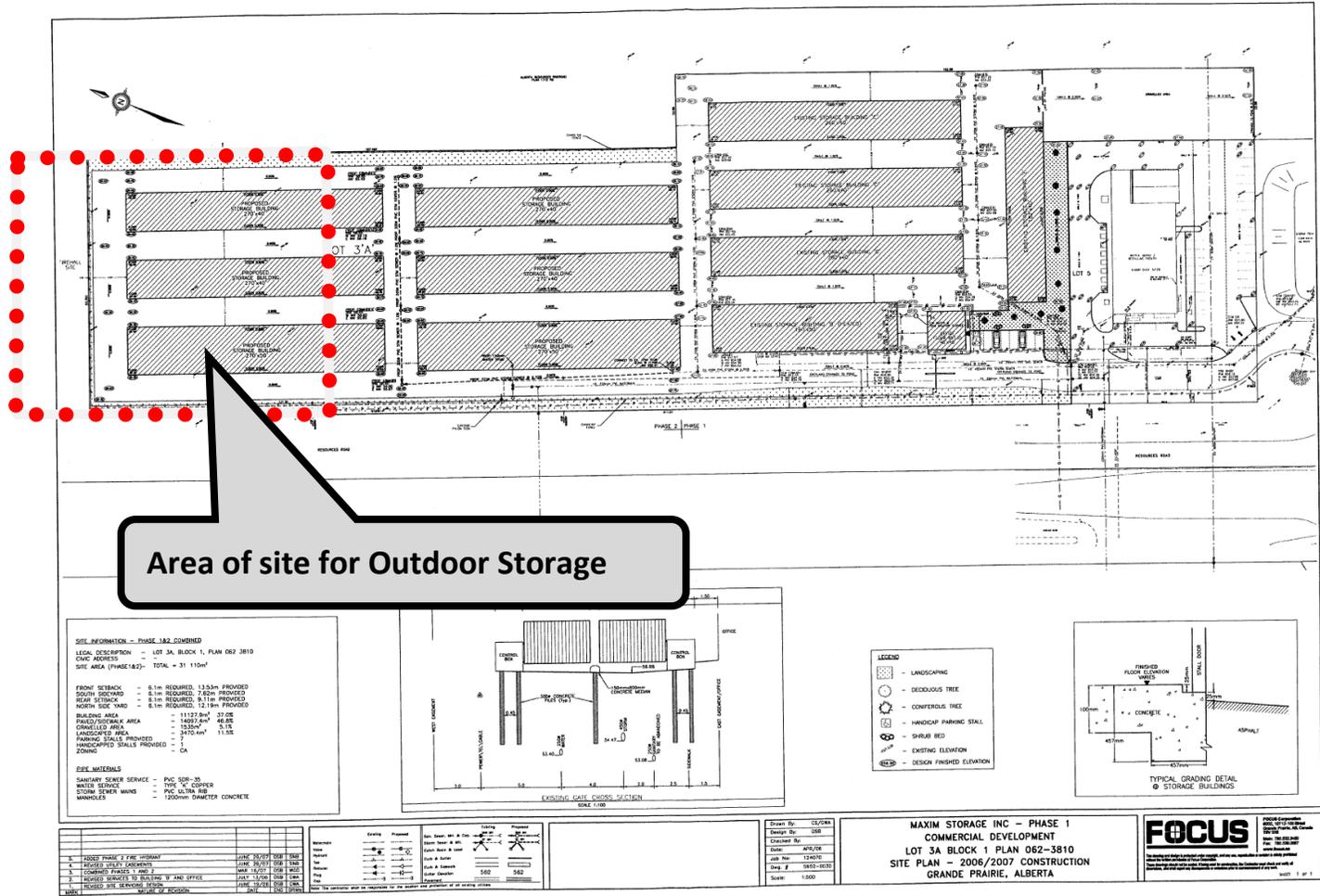
Development on the subject property shall be in accordance with the following regulations:

- a. Development shall take place in accordance with the site plan and development criteria which form part of this Direct Control District;
- b. Where this Direct Control District does not address a development standard, the applicable standards of the Land Use Bylaw shall apply;
- c. The intent of this Direct Control District is to provide for the development of an Outdoor Storage Yard on the northern portion of the property. The standards in the CA - Commercial Arterial district shall apply for the Commercial Storage Facility currently located on site as well as future phases of that use;
- d. The outdoor storage area as shown on the site plan may remain unpaved. Once the area is to be used as a commercial storage facility, paving will be required;
- e. No other area of the property shall be utilized for outdoor storage other than the area highlighted on the site plan which forms part of this land use district;
- f. The outdoor storage component of this development shall be limited to the storage of Recreation Vehicles, 5th Wheels, Camper Trailers, Collector Vehicles, and Boats. No other equipment or materials are permitted to be stored.

104.4.6.5. Development Authority

- a. The Development Officers shall be the development authority for the uses permitted herein.

SITE PLAN



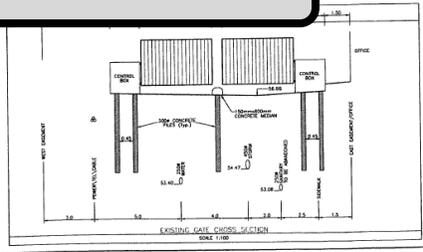
Area of site for Outdoor Storage

SITE INFORMATION - PHASE 1&2 COMBINED
 LEGAL DESCRIPTION - LOT 3A, BLOCK 1, PLAN 062 3810
 CMC ADDRESS -
 SITE AREA (PHASE 1&2) - TOTAL = 31 110m²

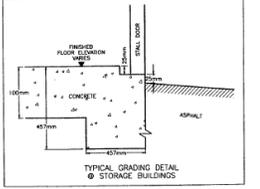
FRONT SETBACK - 6.1m REQUIRED, 13.5m PROVIDED
SOUTH SETBACK - 6.1m REQUIRED, 6.2m PROVIDED
REAR SETBACK - 6.1m REQUIRED, 6.17m PROVIDED
RIGHT SIDE - 6.1m REQUIRED, 12.1m PROVIDED
LEFT SIDE - 6.1m REQUIRED, 12.1m PROVIDED

BUILDING AREA - 11 127m² 37.0%
PAVED DRIVEWAY AREA - 1 487.2m² 4.8%
GRAVELLED AREA - 12 334.7m² 3.9%
LANDSCAPED AREA - 2 470.4m² 7.9%
PARKING STALLS PROVIDED - 1
LANDSCAPED STALLS PROVIDED - 1
ZONING - CA

SEE MATERIALS
 SANITARY SEWER SERVICE - PUC 300-30
 WATER SERVICE - 100mm COPPER
 STORM SEWER MAINS - PUC 1200mm RIB
 MANHOLES - 1200mm DIAMETER CONCRETE



- LEGEND**
- LANDSCAPING
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - HANDICAP PARKING STALL
 - SHOWER BED
 - EXISTING ELEVATION
 - DESIGN FINISHED ELEVATION



NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUED FOR PERMIT	2006/07/07	SM	SM
2	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
3	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
4	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
5	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
6	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
7	REVISED PER CITY COMMENTS	2006/07/07	SM	SM
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Drawn By:	CS/CH
Design By:	SM
Checked By:	AP/RS
Date:	2006/07/07
Job No.:	124070
Drawn By:	SM
Scale:	1:500

**MAXIM STORAGE INC - PHASE 1
 COMMERCIAL DEVELOPMENT
 LOT 3A BLOCK 1 PLAN 062-3810
 SITE PLAN - 2006/2007 CONSTRUCTION
 GRANDE PRAIRIE, ALBERTA**

FOCUS

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