

104.4.2 - DC-2(a) Site Specific Development Control Provision

104.4.2.1 Purpose

To accommodate the redevelopment and reuse of an existing structure for use as a Business Office (Office Major as per Land Use Bylaw Definition), as well as to accommodate limited future expansion to the principal building in the form of office space, with regulations that will ensure that the development will be compatible both in appearance and in use with surrounding residential developments.

(Bylaw C-1260-57 - June 13, 2016)

104.4.2.2 Area of Application

Lots 17, 18, 19, & 20, Block 28, Plan 1061 AE; Municipal Address of 10715 - 102 Street.

104.4.2.3 Uses

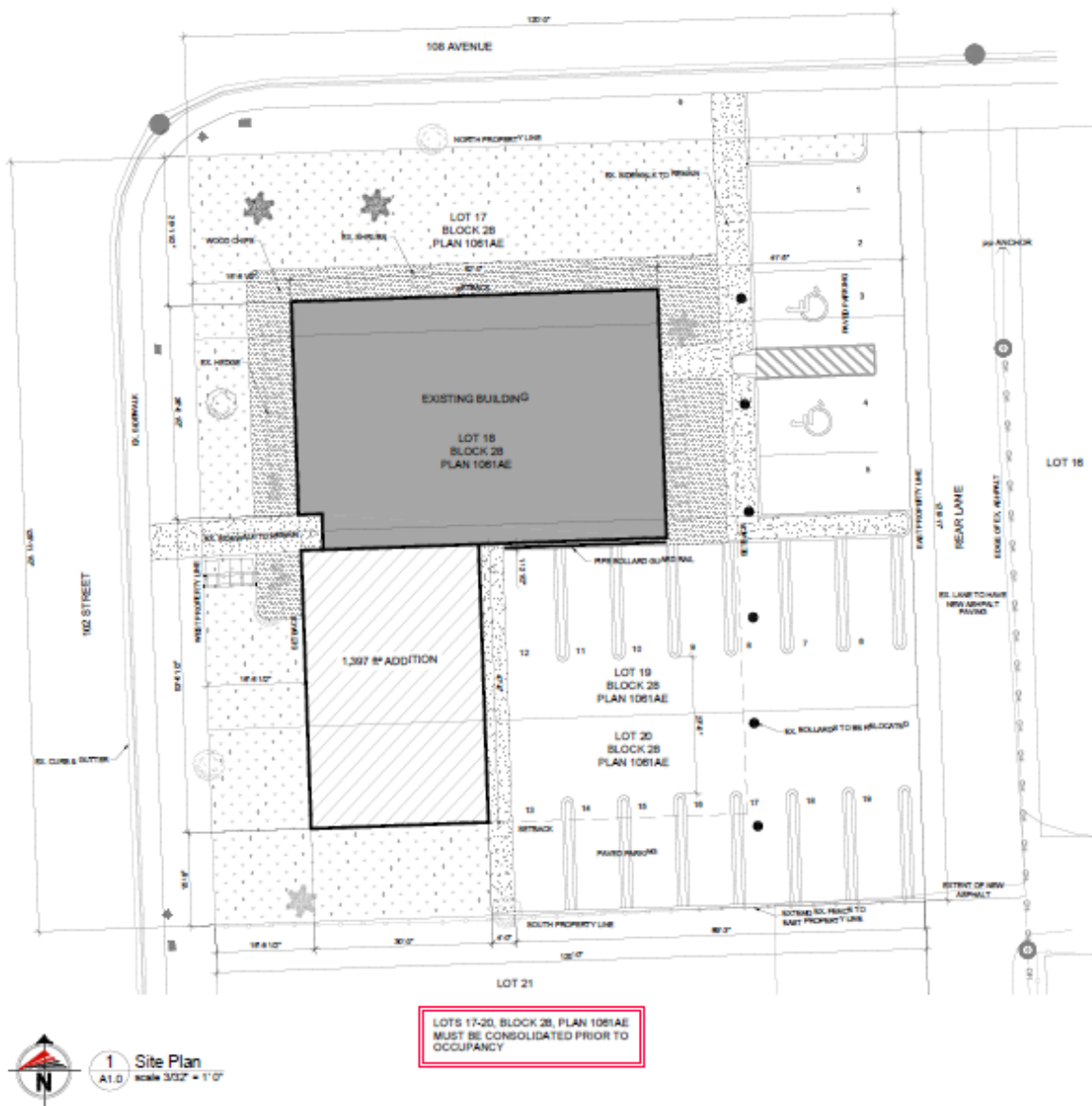
- a. Office (Major and Minor);
- b. Attached Garage;
- c. Fascia Sign.

104.4.2.4 Development Criteria

- a. Site development shall be in accordance with Site Plan and Building Elevations as attached as Appendix 1;
- b. Front Yard shall not be less than 5.1m;
- c. Rear Yard shall not be less than 9.0m;
- d. North Side Yard shall not be less than 7.62m;
- e. South Side Yard shall not be less than 4.8m;
- f. Site Coverage shall not exceed 35%;
- g. The maximum building height for future addition shall not be higher than the original building height (approximately 6.09m);
- h. At no time shall business related vehicles be parked:
 - i) on the adjacent roadways (102 Street and 108 Avenue);
 - ii) in the rear lane;
 - iii) in a fashion that inhibits clear passage of the rear lane;
 - iv) such that the headlights of vehicles penetrate into adjacent residential properties;
- i. Parking stall requirements shall be in accordance with the requirements for Offices Major/Minor detailed in Part Nine of this Bylaw;
- j. Lighting of the property shall be designed so that no light will penetrate into adjacent properties. The Development Authority reserves the right to request a plan showing the projected light patterns on the property should enforcement action be required;
- k. **Deleted by Bylaw C-1260-57 - June 13, 2016;**
- l. The required landscaping shall be provided as follows:
 - i) Total trees required on site = 9;
 - ii) Total shrubs required on site = 18;
 - iii) Total landscaped area = 418.0m²;
 - iv) **Deleted by Bylaw C-1260-57 - June 13, 2016;**
 - v) **Deleted by Bylaw C-1260-57 - June 13, 2016.**
- m. The size of any fascia sign shall not exceed 0.75m². There shall be no more than two (2) fascia signs permitted;
- n. No outdoor storage will be permitted;
- o. No storage of hazardous materials shall be permitted on site;

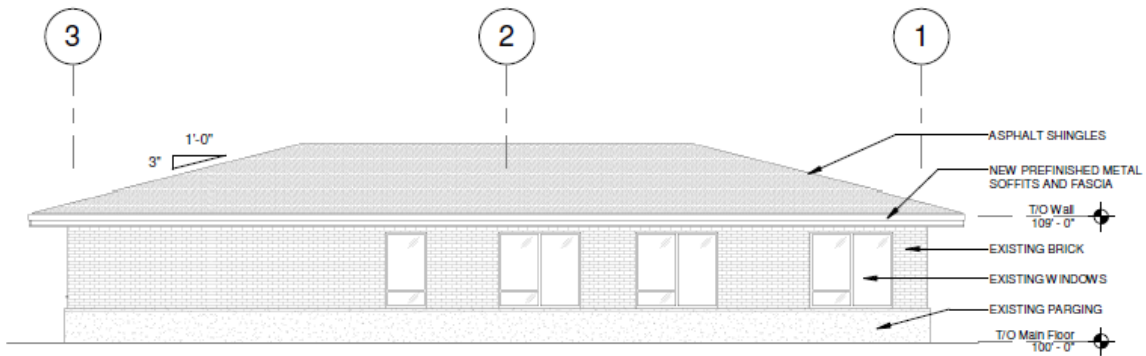
- p. The Development Authority for this district shall be the Development Officer.
(Bylaw C-1260-57 - June 13, 2016)

SITE PLAN



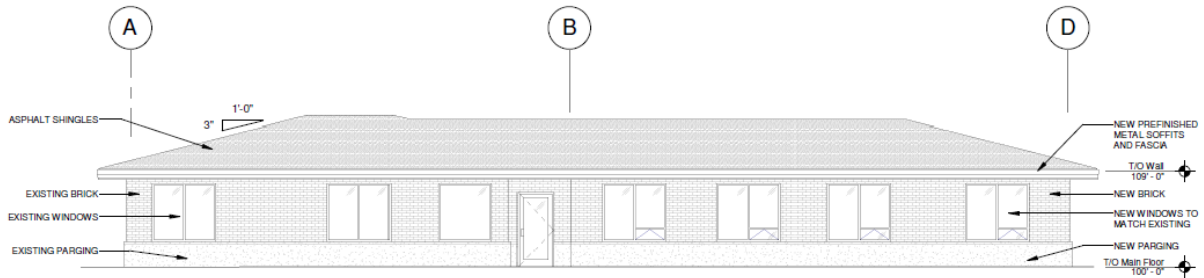
BUILDING ELEVATIONS

North Elevation (view from 108 Avenue)



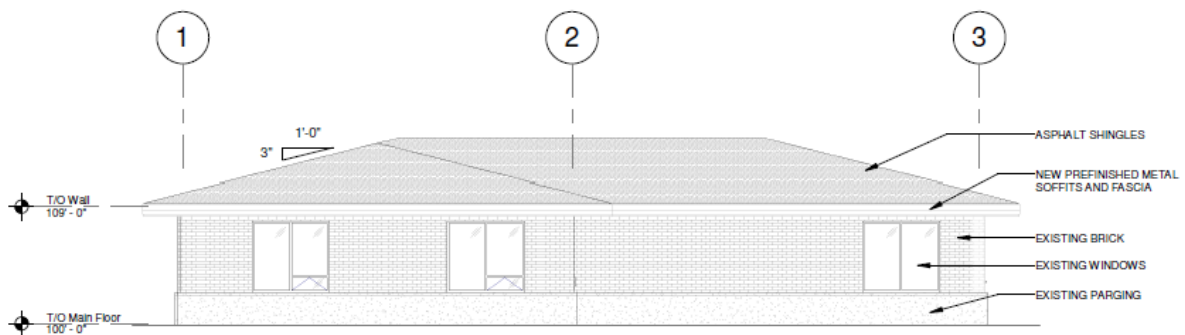
1 North Elevation
A3.0 1/8" = 1'-0"

West Elevation (view from 102 Street)



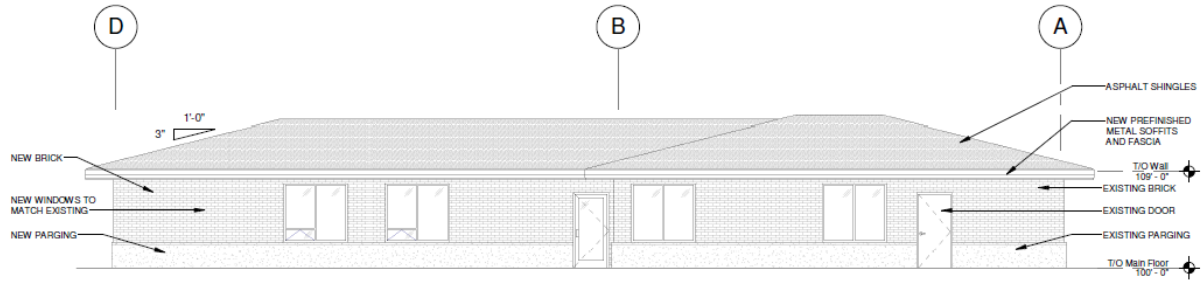
4 West Elevation
A3.0 1/8" = 1'-0"

South Elevation



2 South Elevation
A3.0 1/8" = 1'-0"

East Elevation (view from Lane)



3 East Elevation
A3.0 1/8" = 1'-0"

(Bylaw C-1260-57 - June 13, 2016)