
SCHEDULE I
HILLSIDE AREA REVITALIZATION PLAN
OVERLAY

Section 1 Purpose

- 1.1 To implement the Hillside Area Revitalization Plan.

Section 2 Application

- 2.1 The overlay regulations contained in this Schedule apply to the development or redevelopment of all lands and buildings which are located in the Hillside Area Revitalization Plan Overlay area. The boundaries of this Overlay area are illustrated in Schedule A - Land Use District Map.
- 2.2 Where the provisions of this Overlay district conflict with other regulations of this Bylaw, the Overlay provisions shall take precedence, except for the Direct Control Districts. For parcel(s) located within a Direct Control District, the provisions of the Direct Control District will take precedence.

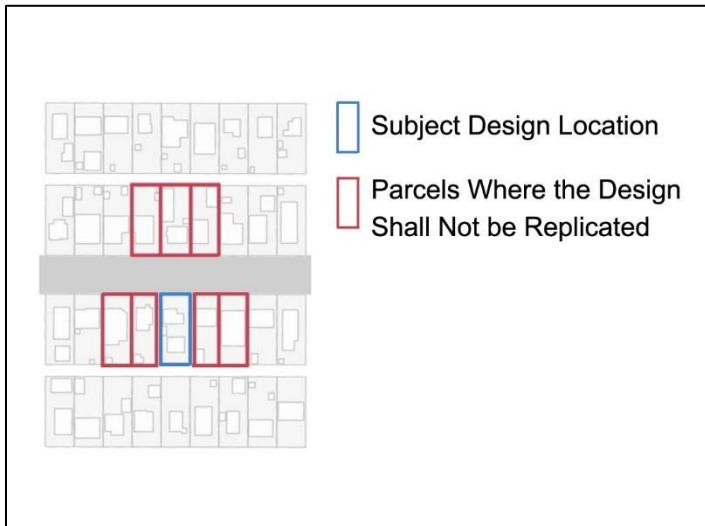
Section 3 General

- 3.1 All development types in this Overlay area are required to conform to the Design Standards and Character Controls as well as the requirements for the future land use categories in the Hillside Area Revitalization Plan. These standards and controls as well as the requirements for the future land use categories are also specified in Sections 4 and 5, respectively.

Section 4 Design Standards and Character Controls

- 4.1 The following standards apply to all residential development within the Hillside Area Revitalization Plan Overlay area:
 - 4.1.1 The main façade of all buildings shall be oriented towards a public street.
 - 4.1.2 All exterior walls facing a public road are required to have a minimum window to wall ratio of 1:6. Doorways may count towards the window area.
 - 4.1.3 Any façade of a building facing a public road shall vary the siding/veneer in at least three (3) ways through a combination of materials, textures, and/or colours.
 - 4.1.4 All mechanical equipment shall be hidden from view from a public road, either by screening or by being located on a side of the building that is not visible from a public road.
 - 4.1.5 Entrances facing a public road shall be articulated with architectural features such as a canopy, columns, porch, or other design features which the Development Authority deems acceptable.
 - 4.1.6 Building facades that face public roads shall have architectural details such as variation in building setbacks, building projections, or bay windows.

- 4.1.7 Roof lines shall have variations through the use of multiple roof breaks, or lines.
- 4.1.8 Multiple buildings with the same appearance or nearly identical appearance shall be separated by at least two (2) parcels on either side and by three (3) parcels directly across the street, as shown in the figure below.



- 4.2 The following standards apply to all semi-detached dwellings, townhouses, duplexes, threeplexes, fourplexes and side-by-side multi- attached dwellings within the Hillside Area Revitalization Plan Overlay area:
 - 4.2.1 If the building front is 11m wide or wider, a portion of the building shall be set back to create two (2) distinct segments that more closely resemble the character of single-detached dwellings.
 - 4.2.2 Parking areas off of rear lanes shall be screened from public roads and adjacent properties with solid fencing that is at least 2.0m high. The maximum height of the fence is 2.5m
 - 4.2.3 An entrance must be provided at the front of the building for at least one (1) of the units.
 - 4.2.4 Private outdoor amenity space shall be provided for residents.
 - 4.2.5 A minimum of seven (7) parking stalls shall be provided for all threeplexes and a minimum of nine (9) parking stalls shall be provided for all fourplexes.
 - 4.2.6 The minimum side yard setback shall be 2.2m from the side property line adjacent to a residential property.
 - 4.2.7 A minimum of 50% of the front yard area shall be landscaped as per the requirements of Section 64.3 of the LUB.

- 4.3 The following standards apply to all apartment and mixed use apartment buildings within the Hillside Area Revitalization Plan Overlay area:
- 4.3.1 For buildings that exceed two (2) storeys, the upper storeys shall have a minimum step-back of 2m from the first and second storeys on facades that face a public road. These spaces may be used for amenities such as patios.
 - 4.3.2 A minimum window (including doors) to wall ratio of 1:5 for the front façade.
 - 4.3.3 All main entrances shall face a public roadway.
 - 4.3.4 A secondary entrance must be provided adjacent to dedicated parking areas.
 - 4.3.5 The design shall include private outdoor amenity spaces, such as patios for residents.
 - 4.3.6 New apartment buildings should have a designated area on-site to accommodate snow storage.

Section 5 Land Use Designations

- 5.1 Amendments to change the land use district of any property must adhere to the Future Land Uses Concept Map in the Hillside Area Revitalization Plan as shown on Map 1 of this Schedule.
- 5.2 Discretionary Uses which will increase residential density shall not be permitted within the Low/Medium Density Residential area of the Hillside Area Revitalization Plan as shown on Map 1 of this Schedule.
- 5.3 Development in the designated Medium Density Residential Row Housing areas, as shown on Map 1 of this Schedule, with two (2) or more dwelling units must meet the following requirements:
- 5.3.1 Development shall be in the form of side-by-side multi-attached dwellings.
 - 5.3.2 Vehicular access shall be provided from the rear-lane. Direct vehicular access shall not be permitted from 108 Avenue.
- 5.4 Development in the Mixed Use area, as shown on Map 1 of this Schedule, in the form of apartment and mixed use apartment buildings shall adhere to the following standards:
- 5.4.1 Only residential uses shall be permitted above the second storey of mixed use buildings.

- 5.4.2 Front yard setbacks are not required for development along 100 Avenue or 92 Street.
- 5.4.3 Parking should be accessed from the rear-lane.
- 5.4.4 Parking shall not be provided between the front of the building and the public sidewalk.
- 5.4.5 Buildings shall be oriented to provide direct pedestrian access from public sidewalks.
- 5.5 Development of parking lots in the designated Hospital Parking and Hospital Parking/Low Density Residential areas, as shown on Map 1 of this Schedule, shall be accommodated through Direct Control Districts.
- 5.6 Vehicular access for new development on 96 Street within the Hillside neighbourhood shall be from the rear-lane. Direct vehicular access shall not be permitted from 96 Street.

